

BOND STREET FARM LTD. 85-79
SUBDIVISION

Approved July 15, 1988 mfr

General Receipt		7172
TOWN OF NEW WINDSOR 555 Union Avenue New Windsor, N. Y. 12550		December 23 19 85
Received of	Bond Street Farm LTD	\$ 25.00
Twenty-five and 00/100		DOLLARS
For	Subdivision Application Fee \$5.79	
DISTRIBUTION		
FUND	CODE	AMOUNT
CR-4 654		25.00
05-79		
By Pauline J. Townsend		
Town Clerk		

General Receipt		9968
TOWN OF NEW WINDSOR 555 Union Avenue New Windsor, N. Y. 12550		July 21 19 88
Received of	Di Nardo, Hubert & Banks, PC.	\$ 527.00
Five Hundred Twenty-seven and 00/100		DOLLARS
For	Bond Street S/D- 85-79	
DISTRIBUTION		
FUND	CODE	AMOUNT
Engineer Fee	192.00	00
Pre Preliminary	100.00	00
Preliminary	100.00	00
Final Plat Plan	135.00	00
By Pauline J. Townsend		
Town Clerk		Title

Williamson Law Book Co., Rochester, N. Y. 14609

NO. 7.21 1981	
RECEIVED FROM	Dinardo, St.
One Thousand Seven Hundred Fifty	DOLLARS
Account Total \$	1750.00
Amount Paid \$	
Balance Due \$	

THE EFFICIENCY LINE AN AMPRO PRODUCT

New Maps 3/1/87

Bond Street Farm

9/28

DISTRIBUTION		
FUND	CODE	AMOUNT
CR-654		25.00
05-70		

By Pauline H. Townsend
Town Clerk

General Receipt 9968

TOWN OF NEW WINDSOR
 555 Union Avenue
 New Windsor, N. Y. 12550

Received of Di Nardo, Helman & Bunk, PC. July 21 1988 \$ 527.00

Five Hundred Twenty-seven and 00/100 DOLLARS

For Bond Street S/D-85-79

FUND	CODE	AMOUNT
Engineering Fee	192	25.00
Pre Preliminary	100	00
Preliminary	100	00
Final Plat Plan	135	00

By Pauline H. Townsend
Town Clerk
 Title

Williamson Law Book Co., Rochester, N. Y. 14609

NO. 7-21 1981

RECEIVED FROM Di Nardo, Et.
One Thousand Seven Hundred Fifty DOLLARS

Account Total \$ 1750.00
 Amount Paid \$ _____
 Balance Due \$ _____

THE EFFICIENCY OF A LINE AN AMPRO PRODUCT

9/78
 ✓ Bldg. Insp. D.O.T. ✓
 ✓ Eng. O.C.H. ✓
 ✓ Fire Inspector O.C.P. ✓
 ✓ Water D.P.W.
 ✓ Sewer
 ✓ Highway

New Maps 3/1/87
 10/21 Bldg. Insp.
 Bldg. Insp. Eng.
 Eng. Fire
 Fire Inspector Water
 Water Sewer
 Sewer Highway
 Highway D.O.T.
 O.C.H.
 O.C.P.
 D.P.W.

Bond Street
 Town

BOND STREET FARM (85-79) HOUSE LOCATION CHANGE

Mr. Lou Tedaldi came before the Board representing this proposal.

Mr. Babcock: Last meeting I discussed a little bit with the Board about Bond Street Farms, it was a subdivision between Blooming Grove, New Windsor and Washingtonville and there was some stipulations on the plan that stated that certain house locations had to be in certain towns and so on and so forth. Somehow the Orange County Health Department put a note on the plan that said no residences or sanitary designs shall be relocated from the plan and the house on lot 7 was shown as being proposed in Blooming Grove and is now in New Windsor.

Mr. Schiefer: Do we have a map on this because I don't have any in here.

Mr. Pagano: So, Mike, they'd have to get Planning Board approval for this change?

Mr. Babcock: Right now that is why he is here in my opinion I sent him here because I don't know what to do with him but right now it says proposed house location. I mean there is no measurements per se to say that the house has to be there.

Mr. Pagano: Do we have older maps that we can see the difference?

Mr. Babcock: That is the one that was approved. There is no new map. There is surveys of the house.

Mr. Tedaldi: I happen to own the property. If that is good or bad, I don't know. The original subdivision, there was a note here on 17 that said the house and septic will be in the Town of Blooming Grove. We are talking about lot #7. I don't know why the note said septic and house, the septic is where they are supposed to be even with the house. The way it went in the septic have never been changed, they are still in Blooming Grove and the well is still in New Windsor, the way it was approved by the Health Department so I don't know if the Health Department would get involved in it, why they put the stipulation that they are involved with the house also, I don't know. I think it should have been probably separate because normally they don't get involved in house locations. We have maybe five houses up now, lot #8 is where it is supposed to be, the house, the septic is in both towns. Number 7, this is actually if anybody wants to look at it, we have a bunch of copies here, lot 7 that is exactly the way the house sits now with a building permit issued from Blooming Grove. If you look at these houses here, there is no violation as far as front yard, side yard or anything else and I guess it is not uncommon where you have a division line from two towns, you can put your house anywhere as long as you don't violate the town minimum requirements. We have a house here, this house sits directly behind lot #8. Then we have lot #6 over here and we have lot #5 in the Town of Blooming Grove and the rest of these house are aesthetically where they look like they make sense. The way this was designed, if you are in the building business and you have a haphazard type look,

it is difficult to make it look like it makes sense but we put lot #7, put the house on lot #7 as you look at the map here, it is just behind the division line and lot #6 as we got that surveyed, we found out it is halfway between both towns. The assessor's office in Blooming Grove told us about it so here I am. I don't know if there is a violation.

Mr. Edsall: Only a suggestion because it is a filed and approved plan because it--I am not sure who asked for the note to be worded that way but I'd suggest unless the Board has any problem with picking up the tax rateable, I believe from what we are finding out the location is more uniform that you might want to approve it and notify the Health Department that you take no objection but approve it subject to their confirmation letter that all they are concerned about is wells and sanitary systems and not forming zoning such as setbacks. They haven't changed any items that the County reviewed.

Mr. McCarville: We have to restamp a map, a set of maps for that particular lot?

Mr. Edsall: House locations are always proposed house locations as long as you build a house within the zoning setbacks. It really doesn't matter.

Mr. VanLeeuwen: I don't see any problem.

Mr. Pagano: Do you need a motion to do that?

Mr. Babcock: Sometime, for some reason, we have no idea how that note got on the map but it is there and also the minutes.

Mr. VanLeeuwen: That was the way the map was presented to us because I remember when Hank came in here, he said the houses, there is only one house in New Windsor, all the rest are in Blooming Grove.

Mr. Schiefer: So we gained another house.

Mr. Babcock: Mr. Chairman, the other thing is in the minutes of the approval of the subdivision, it was stated by this Board that certain houses will be in certain town and certain houses will be in other towns on certain lots and that was one of the reasons also that I wanted to make sure before I started issuing building permits on houses that weren't approved really to be there.

Mr. Schiefer: The house is built on a building permit that you didn't issue?

Mr. Babcock: Building permit and C.O. from Blooming Grove.

Mr. Schiefer: I see no problem.

Mr. McCarville: Mike should issue--

Mr. Schiefer: What you want approval of, what has happened?

Mr. Babcock: What I need to do is any part of a whole or any whole house built in New Windsor needs a building permit and C.O. which we will do and collect all fees. The thing is that I want to make sure that when I issue a building permit and a C.O. that I issue that the Board knows what happened.

Mr. Schiefer: Do you want to make a motion to that effect?

Mr. Pagano: Motion to send a letter as per Mark's suggestion to the County Health Department. That is all.

Mr. VanLeeuwen: Motion should be made that to amend the Bond Street Farm subdivision lot #6 and 7 to include the residential dwelling in the Town of New Windsor subject to a confirmation letter from the Orange County Health Department that they take no objection to it since it is a subdivision that is under their review as well.

Mr. McCarville: I will second that.

ROLL CALL:

Mr. McCarville	Aye
Mr. VanLeeuwen	Aye
Mr. Pagano	Aye
Mr. Lander	Aye
Mr. Schiefer	Aye

Mr. Ronces: I think if you don't file an amended map you are going to create a very confusing situation for some future purchaser, maybe not either on this deal, I don't know if you have got this already sold or not or to that persons next buyer because there is going to be conflicts between the filed map and that note and the house location. I think the easiest way to keep the paper trail straight would be to file a revised map.

Mr. VanLeeuwen: File a portion of the map, you don't have to file the whole map.

Mr. McCarville: You are going to have to do the--the first plan was stamped by the Health Department so if you change it they are going to have to stamp it so as long as they are willing to stamp it, you don't have a problem.

Mr. Tedaldi: They are a nightmare at best I am trying to do it as best I can.

Mr. McCarville: You can still do what we are doing then file an amended map and bring it back here and send it out. Once you have your building permit and C.O. with the approval and the letter to Orange County then you have, I think down the road you would want to file--

Mr. Babcock: If there is going to be a request of this Board to file an amended plan, he is not going to get a building permit from me

9-27-89

until I have an amended plan stamped by this Board. That is the problem, that is the law.

Mr. Edsall: It is not a big procedure to change a plan to show a house location. The biggest stumbling block is having the County Health Department review it.

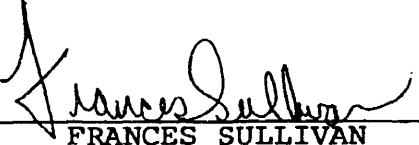
Mr. Babcock: You are changing a plan that was reviewed by three different towns now two, that is a problem, does it have to be back to Blooming Grove?

Mr. VanLeeuwen: He should take it to the Health Department if they are willing to go along with it and do it, if they send him to Blooming Grove, he has to go to Blooming Grove.

Mr. Edsall: As long as this Board approves subject to County Health at this point, we will ask the Health Department to help us out.

Being that there was no further business to come before the Board a motion was made to adjourn the meeting by Mr. Pagano seconded by Mr. Lander and approved by the Board.

Respectfully submitted;



FRANCES SULLIVAN
Stenographer



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

27 October 1989

Orange County Department of Health
124 Main Street
Goshen, NY 10924

ATTENTION: KENNETH J. MUNDY, P.E., DIRECTOR
BUREAU OF SANITARY ENGINEERING

SUBJECT: BOND STREET FARM SUBDIVISION;
NEW WINDSOR PLANNING BOARD # 85-79

Dear Mr. Mundy:

I am writing you in connection with the Bond Street Farm subdivision, which was previously approved by the Town of New Windsor Planning Board and your Department. As we discussed in our recent telephone conversation, certain house locations have been constructed in locations other than that indicated on the approved subdivision plan. It is generally agreed that the house locations shown on the plans are proposed, "possible" locations, which could be relocated during the building permit process, as long as the location complies with the Municipality's zoning requirements. The problem in the re-location of the houses within this specific subdivision is caused by Note 17 on the subdivision plan, which restricts relocation of residences and sanitary systems. It is unclear what approving agency, if any, required such wording on the plan; however, the Town of New Windsor Planning Board has no objection to the relocation of the residences on Lots 6 or 7.

In my review of this matter for the Town of New Windsor Planning Board, I have recommended that they require your concurrence to any such change, since the plan approved by your Department contained the note in question. The Town Planning Board, by resolution at their 27 September 1989 meeting (copy attached), approved the amended subdivision, with the residences on Lots 6 & 7 relocated; such approval subject to a confirmation letter from your Department. The Planning Board Attorney has recommended that an amended plan be stamped approved by the respective agencies and Departments and such plan be filed with the Orange County Clerk.

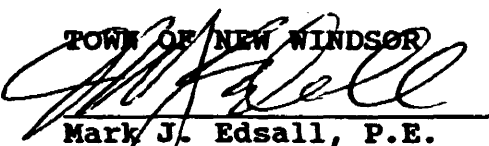
27 October 1989

This letter is written to request a letter of confirmation that your Department takes no exception to the relocation of the residences on the aforementioned lots, with no changes to be made to the sanitary systems or wells (as approved by your Department).

If you have any questions concerning this matter, please do not hesitate to contact the undersigned. If you require additional documentation or paperwork concerning the changes made, I request that you contact the subdivision applicant directly for such paperwork. Thank you for your anticipated cooperation in this matter.

Very truly yours,

TOWN OF NEW WINDSOR


Mark J. Edsall, P.E.
Planning Board Engineer

MJEsjg

cc: Town Planning Board
Michael Babcock, Building Inspector

doh



LOUIS HEIMBACH
County Executive

Department of Health

SALLY FAITH DORFMAN, M.D., M.S.H.S.A.
Commissioner of Health

November 9, 1989

T. New Windsor
555 Union Ave.
New Windsor, NY 12550

Attention: Mark Edsall, P.E., Planning Board Eng.

Re:
Bondstreet Farm
Realty Subdivision
T. Blooming Grove/T. New Windsor
V. Washingtonville

Dear Sir:

It should first be pointed out that the Orange County Department of Health did not request the note in question (17 sheet 2 of 3). Our only concern is that the sanitary facilities are properly designed and constructed not which municipality they are located on.

We have reviewed your correspondence dated October 27, 1989 regarding the above referenced project. As described in your letter, house locations shown on approved plans illustrate proposed "possible" house locations which can be subject to relocation provided that gravity sewage discharge is still possible and the disposal facilities and wells remain located and are constructed as approved.

However, since you indicate there is now an amended plan, which must be stamped approved by this office prior to filing with the County Clerk, we will have to issue a new approval of that set of plans.

CC: M.E.

T. New Windsor (Bondstreet Farm)

Page 2

November 9, 1989

This will require, a letter from the engineer explaining the change, a new application, subdivision fee of \$25.00 per lot plus the necessary mylars and paper prints (we keep one set) for stamping. Submissions of this nature are not placed on the review process list but are handled as expeditiously as possible.

If you have any questions, please advise.

Very truly yours,



Kenneth J. Mundy, P.E.
Director, Bureau of
Sanitary Engineering

KJM/aje

cc: Applicant
Lanc & Tully, P.C.
File

July 12, 1988

Bondstreet Farm, Ltd.
Moffat Rd.
Washingtonville, NY 10992


Re:
Approval of plans for:
Bondstreet Farm, Ltd.
Realty Subdivision
T. Blooming Grove/New Windsor
V. Washingtonville

Gentlemen :

Plans entitled Bondstreet Farm Ltd. prepared by Lane & Tully, P.C., and dated November 14, 1986, latest revision February 25, 1988 are approved.

Our Certificate of Approval is enclosed. The approved plans are being returned to the engineer for transmittal to you.

Very truly yours,


M.J. Schleifer, P.E.
Assistant Commissioner

MJS/aje

cc: Engineer ✓
O.C. Planning Dept.
File

enc.

85-79

ORANGE COUNTY DEPARTMENT OF HEALTH
Division of Environmental Health

CERTIFICATE OF APPROVAL OF REALTY SUBDIVISION PLANS

TO: Bondstreet Farm, Ltd.
Moffat Rd.
Washingtonville, NY 10992

The Orange County Department of Health certifies that a realty subdivision map entitled Bondstreet Farm, Ltd. dated November 14, 1986, latest revision February 25, 1988 located in the Town of Blooming Grove, T. New Windsor and Village of Washingtonville showing plans for providing satisfactory and adequate water supply and sewage facilities for said subdivision have been filed with and approved by the Department on this date pursuant to Article II of the Public Health Law.

The following information was furnished in the application for approval of plans:

Total area: 11.46+ acres

Number of lots: 8

Water supply: Individual wells

Sewage disposal: Individual subsurface disposal systems

The owner intends to build houses and sell lots.

Approval of the proposed water supply and sewage facilities is granted subject to the following conditions:

1. THAT the proposed facilities are installed in conformity with said plans.
2. THAT no lot or remaining lands shall be subdivided without plans for such resubdivision being filed with and approved by the Orange County Department of Health.
3. THAT the purchaser of a lot sold without water supply and/or sewage disposal facilities installed thereon will be furnished with a reproduction of the approved plans and shall be notified of the necessity of installing such facilities in accordance with the approved plans.

July 12, 1988
Date



H.J. Schleifer, P.E.
Assistant Commissioner

TOWN OF NEW WINDSOR PLANNING BOARD
TRACKING SHEET

PROJECT NAME:

Bond Street FARM LTD

PROJECT NO. :

85-29

TYPE OF PROJECT:

Subdivision ☒

Site Plan

Lot Line Change

Other (Describe)

TOWN DEPARTMENT REVIEWS:

Date
App'd

Date
Not App'd

Not
Required

Planning Board Engineer
Highway
Bus. Fire Prev.
Sewer
Water
Flood

3/17/88
4/22/87
✓

OUTSIDE DEPT./AGENCY REVIEWS:

DOT
DEC
O/C PLANNING
O/C HEALTH
NYSDOH
OTHER (SPECIFY)

✓ 3/4/88
See letter
3/8/88 See letter

SEOR:

Lead Agency Action
Determination
EAF Short Long
Proxy: Filed

Submitted Accepted
Representative

PUBLIC HEARING:

Held (DATE)
Other

Waived*

(* Minor Subdivision and Site Plans only.)

TIME SEQUENCING:
(SUBDIVISIONS)

Sketch Plan Date _____ + 30 days = Action Date _____
Preliminary P/H Date _____ + 45 days = Action Date _____
Preliminary App'l Date _____ + 6 months = Final Resub. Date _____
Final Plan Date _____ + 45 days = Final App'l Date _____

TIME SEQUENCING:
(SITE PLANS)

Presubmission Conf. Date _____ + 6 months = Submittal Date _____
First Meeting Date _____ + 90 days = Final App'l Date _____

3-9-88

Ms. Lorraine Potter from Lanc & Tully came before the Board. Along with her appeared Robert DiNardo, Esq. and Mr. Spartanburg.

Ms. Potter: As previously discussed at your last meeting, we are still working with the thirteen lots and they do deal with three different municipalities. It is the Village of Washingtonville, Town of Blooming Grove and the Town of New Windsor. As requested by the Town of New Windsor, at the last meeting, we have since completed a certified survey of Lot 13 which basically is in part of the Town of New Windsor. Also we have added Note No. 19 to the plan on Sheet 1 which clearly defines that the lot must go to the Orange County Health Department and proceed with approvals for any development of that lot whatsoever.

Mr. Van Leeuwen: The party is going to buy that. They've agreed to that already?

Ms. Potter: They were here. They are aware of what the town wanted and they know that would be the procedure that would have to be followed. Also, in that note it is suggested that they go

for a 280-A from the Zoning Board of Appeals. In regard to Lot No. 9 which is the one we addressed as not a lot line change, we have prepared --

Mr. DiNardo: We have a letter addressed to the Orange County Tax Map Department and the New Windsor Tax Assessor signed by Bond Street Farm Ltd., Manny Fink, President and also signed by Robert Rafflard stating that the requested two lots be merged and be made one tax lot. I have the originals with me to be forwarded to the Tax Assessor and the Tax Department.

Mr. Van Leeuwen: Isn't that the original two items we were waiting for? I make a motion that the Town of New Windsor Planning Board give final sub-division approval to Bond Street Farms Map dated February 25, 1988.

Mr. Schiefer: I will second that.

ROLL CALL:

MR. JONES	Aye
MR. PAGANO	Aye
MR. VAN LEEUWEN	Aye
MR. LANDER	Aye
MR. SCHIEFER	Aye
MR. SCHEIBLE	Aye

Ms. Potter: We would like to request -- we are waiting to have the plan stamped until we have received final approval from the Town of Blooming Grove so everything can be stamped by all the municipalities and Orange County Planning Department at the same time.

Mr. Jones: Are all the fees paid in New Windsor?

Ms. Potter: As far as we know. I will verify it with the clerk.

Mr. Jones: The map does not get signed until the fees are paid.

Ms. Potter: We realize that. Thank you.



McGOEY and HAUSER
CONSULTING ENGINEERS P.C.

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
Associate

Licensed in New York,
New Jersey and Pennsylvania

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: BOND STREET FARM, LTD. SUBDIVISION
PROJECT LOCATION: OFF BULL ROAD (WEST SIDE)
NEW WINDSOR #: 85-79
9 MARCH 1988

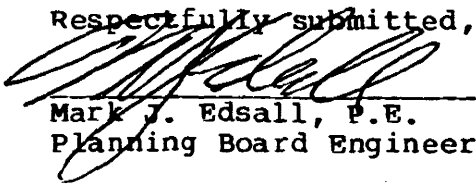
1). The Applicant has submitted a plan for the subdivision of a property totaling 240 +/- acres, with such subdivision being partially in the Town of Blooming Grove, Town of New Windsor and Village of Washingtonville. A total of thirteen (13) lots are shown on the plan, with a total of nine (9) lots having a portion being in the Town of New Windsor.

2). As has been the subject of numerous discussions and reviews, this subdivision requires the review and approval of several Planning Boards. As such, a difference in procedures between such Boards became evident.

Pursuant to same, a procedure was determined which, in my opinion, gives reasonable assurance that the goals of the Town of New Windsor Planning Board will be followed.

3). All concerns previously discussed have been resolved in a reasonable manner. Pursuant to same, it is my opinion that the subdivision as submitted is acceptable for approval from an engineering standpoint.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

2-10-88

Mr. Robert DiNardo came before the Board representing [redacted] proposal.

Mr. DiNardo: I am Robert DiNardo, I am an attorney and this is Lorraine Potter with Lanc and Tully's office. You have seen this before. I don't know if you remember if I can recap it quickly. It is in three municipalities, Blooming Grove, New Windsor and we have a piece of Washingtonville here and here. Three municipalities. What is proposed is the creation of 8 new building lots in New Windsor and Blooming Grove but all of the homes are in the town of Blooming Grove as well as all the septic systems and wells.

Mr. Mc Carville: Number 8 is in New Windsor so the home, well and septic on 8 are in New Windsor.

Ms. Potter: It would be there on the second sheet.

Mr. DiNardo: This started about two years ago it had preliminary approval from the Village of Washingtonville and the Town of Blooming Grove. The other lots which are lettered lots either have existing structure such as 12A the original farm parcel, 11A which is the second home or no homes are proposed at this time such as lot 10A and lot 13A.

Mr. Mc Carville: 13A in New Windsor?

Mr. DiNardo: 13A is in New Windsor with the exception of a little triangle which is in Blooming Grove. 13A is everything on this side of the railroad which is some 28 acres. All of which is in New Windsor or with the exception of about a half acre.

Mr. Mc Carville: Did we have a discussion of a cemetery in that vicinity?

Ms. Potter: There was a question on the cemetery and we have since gone out and located it. It is not within the subdivision, it has been addressed on the plans it is off the map.

Mr. Mc Carville: Did we take lead agency?

Mr. DiNardo: Blooming Grove has taken on lead agency status.

Mr. Scheible: Mark did you have a comment on this.

Mr. Edsall: I will let Mr. DiNardo finish speaking his piece.

Mr. DiNardo: There what I will call an annexation parcel lot 9A which is in both Blooming Grove and New Windsor. The large bulk of it is in New Windsor. It is not intended to create a building lot it is a little sliver triangular sliver intended to be annexed to the adjoining piece in New Windsor owned by Riflard. It is what you'd call a lot line change but Blooming Grove, they get to exactly where you get but they do it in two steps. They say call it a lot and then simultaneously submit a letter to the assessor asking that the line be erased and that is what you get. We get to the same place and we have a letter simultaneously I think New Windsor makes more sense. I don't have any reason to ask you to do it Blooming Grove's way other than to tell you that my impression of Blooming Grove is that they are totally inflexible and they won't listen to reason and all I can say is I don't think the owner should suffer for their pigheadedness. I want you to acquiesce to Blooming Grove's method call it a lot we will immediately come in with a letter to the assessor and we will create two lines and erase one we will use the Blooming Grove methodology to do what you do in one step.

Mr. Mc Carville: How about the Town line.

Mr. DiNardo: No, that won't change. We are hoping to take the contradiction away at the same time the lot is created and submit a note saying please merge it with the other lot. For a moment it exists and then it doesn't.

Mr. Van Leeuwen: I have no problem with it.

Mr. Mc Carville: I will make a motion--

Mr. DiNardo: If a condition of your approval was the submission of a letter to the assessor that it would never get on the map this way to the assessor and tax map department I don't believe that triangular lot will ever appear anywhere. I think that is the safety net.

Mr. Van Leeuwen: I make a motion we approve the Bond Street Farm Ltd. proposal providing we get a letter--

Mr. DiNardo: Lot 13A about two years ago when this started we were only looking to create the new building lot and septic, lot 13A does not have frontage on a municipal road it is all on the other side of Conrail. Again a small piece of it is in Blooming Grove. It has its access over this railroad bridge. There is an operating dairy farm here, milk trucks go over it and the whole business. When we started again we had Mr. Fink, Bond Street Farm Ltd. had no proposed use for this so we did not submit this to the Health Department for review of the septic as we did lots 1 through 9 because Health Department said if you are making a lot out of it we have to review the septic or tell us you are not making a residential lot. You don't want us to review the septic we wouldn't approve for residential purposes but please distinguish those lots which you want us to review septic and distinguish them with letters. For example 13A no septic design or review 11A already has a house and a barn 12A the same thing. And we have a note I wish your zoning ordinance contained a definition of natural subdivision as being property separated by a road or railroad. We checked the ordinance it doesn't. I think it did and you amended it.

Mr. Van Leeuwen: We have always considered a road as a natural subdivision.

Mr. DiNardo: My point is we have a note here that says not for residential

purposes at this time and Mr. Edsall's last comment he brought to your attention the fact that this is not approved it's not been reviewed by the Health Department, not approved for residential purposes. I know from talking to Mark that he is concerned and the Town is concerned that this note slip through the cracks. Land changes ownership and maybe we forget to do what has to be done to get it approved for residential purposes. I would tell you this if we knew two years ago what we know now then we would have run it through the Health Department. But it is too late for that and you know all the stories about the Health Department. We started with them 14 months ago and we got approval within the week. We will respect the Town's interests that this not, to use my terminology fall through the cracks so what I have discussed with Mr. Rones and Mr. Edsall is this note which I think is the one Mark has a question about is it says not for residential purposes at this time. I am suggesting that we not have to start over again and in effect cost us a year starting over with the Health Department plus having to reprocess another preliminary subdivision with Blooming Grove but that we will build in certain safeguards to say specifically what needs to be done to get this lot approved for residential purposes and I will tell you what I think needs to be done. I think the Health Department needs to review the septic system and I think it needs a 280A variance from the Zoning Board of Appeals because it doesn't have road frontage and what I am saying, it has access but no frontage. But I think 280A says you must have frontage. I am going to make this note more prominent on the map a big red flag on it and define specifically on the notes what it needs. It needs review by the Health Department and 280A variance. I am prepared to do that in any reasonable way and to make sure it doesn't slip through the cracks.

Mr. Van Leeuwen: Our building inspector would pick that right up.

Mr. DiNardo: The people who are interested in purchasing this property want to use it for nursery, for agricultural purposes in the meantime and then construct a home on it in a year or two. They have been advised they have been told what it needs that it needs 280A that it needs Health Department approval and they are prepared and I am prepared to commit to making those applications immediately or simultaneously with it being approved so it can't fall through the cracks. The Blooming Grove Zoning Board of Appeals has given it a 280A variance already because as soon as they saw a piece on the other side of the road and saw the driveway going through there they said you need a 280A variance.

Mr. Babcock: I am sure you are aware of it but if the house is built in the Town of New Windsor they have to come to me for a permit and they'd have to go to the Zoning Board of Appeals. This is quite similar to the lots that we have on Reilly Road over the aqueduct and they have been in front of the Zoning Board of Appeals several times.

Mr. Van Leeuwen: Make part of our approval what about lot 5A is that in New Windsor?

Mr. DiNardo: That is 9A that is to go to Riflard. I think procedurally the next step is to schedule for preliminary approval. I don't think it has preliminary from the Town of New Windsor.

Mr. Mc Carville: I make a motion we give preliminary approval to Bond Street Farm Ltd.

Mr. Van Leeuwen: I will second that.

ROLL CALL:

MR. SCHIEFER	AYE
MR. JONES	AYE
MR. PAGANO	AYE
MR. MC CARVILLE	AYE
MR. SCHEIBLE	AYE
MR. VAN LEEUWEN	AYE

Mr. Van Leeuwen: I think we should get a letter from the assessor saying he is going to change it immediately after we do it.

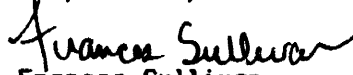
Mr. DiNardo: We will work on the map refinements and come back when you can get us on the agenda. If you are not complete to have a hearing on final we ask for a waiver and if we bring everything in--

Mr. Scheible: Do a little more refining to the map and get back here on the next agenda.

Mr. DiNardo: Thank you.

Being that there was no further business to come before the Board, a motion was made to adjourn the February 10, 1988 meeting of the Town of New Windsor Planning Board by Mr. Mc Carville, seconded by Mr. Jones and approved by the Board.

Respectfully Submitted by:


Frances Sullivan
Stenographer

3-9-88

DiNARDO, GILMARTIN & BURKE, P.C.

Attorneys at Law

90 East Main Street (Route 94)

P.O. Box 1000

Washingtonville, New York 10992

(914) 496-5414

(914) 294-6686

Robert E. DiNardo

Brian G. Gilmartin

John F.X. Burke

David A. Donovan

Antoinette Gluszk

February 16, 1988

New Windsor Tax Assessor
Town Hall
555 Union Avenue
New Windsor, NY 12550

Orange County Tax Map Department
Government Center
Goshen, New York 10924

Re: Subdivision for Bondstreet Farm
Ltd., prepared by Lanc & Tully,
P.C., dated November 14, 1986,
last revised FEB 25, 1988

Gentlemen:

We represent Bondstreet Farm, Ltd., the owner of the above referenced subdivision. The subdivision has recently received final subdivision approval from the New Windsor Planning Board. One of the lots contained within the subdivision, Lot #9A, is intended to be conveyed to the adjoining property owner, Robert Riffard. Lot #9A is located mainly in New Windsor, but a portion of the lot is also located within the Town of Blooming Grove.

The Planning Board has conditioned its final approval of the subdivision on the owner of Lot #9A (Bondstreet Farm Ltd.) and the adjoining parcel New Windsor tax parcel 56-1-1.3 (Robert Riffard) submitting a letter to the Assessor and Tax Map Department requesting that these two lots be merged and be made one tax lot in order that it be clear that no new building lot or substandard lot was intended to be created by either New Windsor or Blooming Grove's Planning Boards.

DINARDO & GILMARTIN
ATTORNEYS AT LAW

New Windsor Tax Assessor
Orange County Tax Map Department
Page 2

I have had the President of Bondstreet Farm Ltd., and Mr. Riffard countersign the original of this letter for the purpose of requesting that Lot #9A be merged with and be made a part of tax lot 56-1-1.3. A countersigned original will be delivered to be both the New Tax Assessor and Orange County Tax Map Department.

Sincerely,



Robert E. DiNardo

RED/mv

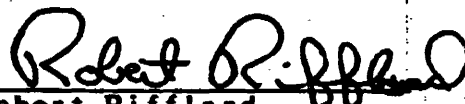
cc: Manny Fink
Robert Riffard

AGREED TO:

BONDSTREET FARM LTD.

By: 

Manny Fink, President


Robert Riffard

TOWN OF NEW WINDSOR
BUREAU OF FIRE PREVENTION
SITE PLAN REVIEW FORM

PLANNING BOARD

REFERENCE NUMBER: 85-79

FIRE BUREAU

REFERENCE NUMBER: 88-15

SITE PLAN FOR: Bondstreet Farm; Ltd.

ADDRESS: Bull Road, New Windsor, New York 12550

The aforementioned site plan or map was reviewed by the BUREAU OF FIRE PREVENTION at a meeting held on 15 March 1988.

☒ The site plan or map was approved by the BUREAU OF FIRE PREVENTION.

☐ The site plan or map was disapproved by the BUREAU OF FIRE PREVENTION for the following reason(s).

SIGNED: 



COUNTY OF ORANGE

LOUIS HEIMBACH, County Executive

Department of Health

124 MAIN STREET

GOSHEN, NEW YORK 10924 TEL: 914-294-7961

Walter O. Latzko
President, Board of Health

March 3, 1988

RE: Bondstreet Farm
Towns of Blooming Grove
and New Windsor

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

Gentlemen:

This entire parcel properly comes before our department as one subdivision irrespective of its crossing various municipal boundaries. There are notes on Sheet 1 of the plans which indicate some Health Department requirements.

Very truly yours,

M. J. Schleifer, P.E.
Assistant Commissioner

MJS:dlb

cc: File

85-79 Bond Street

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.
WATER, SEWER, ~~REVIEW~~ REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision Bond Street Farm as submitted by _____
_____ for the building or subdivision of _____
_____ has been
reviewed by me and is approved ✓
disapproved _____.

If disapproved, please list reason.

Fred Lysop (M)
HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

5/17/88
DATE

Bond Street Farm 85-79

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
Lawrence Lully for the building or subdivision of
Bond Street Farm, LTD has been
reviewed by me and is approved _____
disapproved _____

If disapproved, please list reason.

*Requires approval from Orange County Health Dept.
" All necessary Sanitary Permits from Town
and reinspection by Engineer. Plus letter from
Engineer certifying proper installation*

HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

James R. Martin Jr.

SANITARY SUPERINTENDENT

March 2, 1988

DATE

Bond Street Farm 85-79

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
Lane & Tully for the building or subdivision of
Bond Street Farm LTD. has been
reviewed by me and is approved ✓
~~disapproved~~ _____.

If disapproved, please list reason.

There is no town water in this area.

HIGHWAY SUPERINTENDENT

Stem D. Duv
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

REC'D. R4

MAR 02 1988

Bond Street 85-79

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, ~~PLUM~~ O.C.H. O.C.P.
WATER, SEWER, HIGHWAY REVIEWS FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
_____ for the building or subdivision of
Bond Street has been
reviewed by me and is approved _____,
disapproved _____.

If disapproved, please list reason.

No Comments.

Don Deane C.E.I.
HIGHWAY SUPERINTENDENT *W.S. D. Tr*

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

3-4-88
DATE



**McGOEY and HAUSER
CONSULTING ENGINEERS P.C.**

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
Associate

Licensed in New York,
New Jersey and Pennsylvania

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: Bond Street Farm, Ltd. Subdivision
PROJECT LOCATION: Off Bull Road (West Side)
NW #: 85-79
28 October 1987

1. The Applicant has submitted a Plan for the subdivision of a property of a total of 240 +/- acres, being partially in the Town of Blooming Grove, Town of New Windsor and Village of Washingtonville. A total of thirteen (13) lots are shown on the Plan, with a total of nine (9) lots having a portion being in the Town of New Windsor. The Plan was most recently reviewed at the 23 September 1987 Planning Board Meeting.

2. As noted on my previous review comments, it is my opinion that creation of lots as part of the major subdivision without the lots being reviewed by the Orange County Department of Health is not proper. (See Note 17 on Sheet 1). Only Lots 1-8 were submitted to that Department for review.

3. As noted in my previous review comments, I am concerned about Lot No. 13 A. My concerns are with regard to the note indicating that it is "not for residential purposes at this time", its proximity to the New York State Freshwater Wetlands MB38 and the adjacent cemetery.

4. As noted in my previous review comments, I am concerned regarding Note 8 on Sheet 1 which indicates that the boundary information for Lot 13A is not the result of an actual survey.

5. With regard to the Lands being conveyed to Riffard, the Planning Board Attorney should determine if the manner of conveyance shown on the Plan is acceptable, or if a lot-line change should be made.

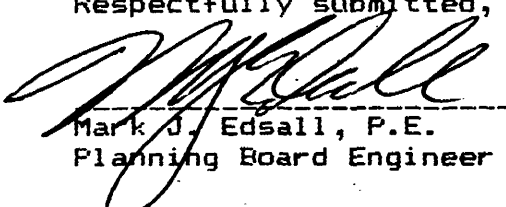
TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: Bond Street Farm, Ltd. Subdivision
PROJECT LOCATION: Off Bull Road (West Side)
NW #: 85-79
28 October 1987

Page 2

6. Comments were prepared by this Engineer for the 23 September 1987 meeting. The resubmitted Plans for review at this meeting have not responded to such comments in a satisfactory manner. Therefore, it is my opinion that the plans are not acceptable for approval from an Engineering Standpoint.

Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer

MJEnjE

10/28/87

Mr. John Lanc from Lanc & Sully Engineering and Surveying, C. came before the Board representing this proposal. He presented the Affidavit of Mailing, Affidavit of Publication and return receipts.

Mr. Scheible: This is a notice from the Orange County Department of Planning and Development. The most significant problem presented concerns the proximity of parcels 1 through 8 to the railroad. The noise and vibrations will impair the quality of living in the area. To help buffer the noise we recommend the line of pre-existing trees and brush along the tracks be reserved. It would be also advantageous to combine parcel 6, 7 and 8 into one building lot to eliminate the homes most effected.

Mr. Lanc: It just proves they didn't go to the site. Because the railroad is 20 feet below the area here.

Mr. Van Leeuwen: I was there I'd say it is closer to 50.

Mr. Lanc: I am trying to conservatively speak I cannot see the train the sound is buffered. I cannot agree with their comment there.

Mr. Van Leeuwen: Where is the railroad?

Mr. Lanc: It is right here.

Mr. Scheible: Is that similar to by Henry's? It is down about 20 or 30 feet.

Mr. Van Leeuwen: It is even more. I will tell you somethat that track runs through there every bit of 40 to 50 feet. I have been over the bridge many times to the old Hoky farm.

Mr. Lanc: Bond Street Farm subdivision has one thing a little bit unique than the other subdivisions. Usually the subdivision is in one municipality. This is in different municipalities, one of them being your town, Town of New Windsor and this is the Town line and New Windsor is on the side. The other one is Town of Blooming Grove. This being Town line and Blooming Grove on this side and Village of Washingtonville which is in this quadrant in the upper part. In addition to obtaining approvals from the three municipalities we have been obtaining approval from Orange County Health Department. The area of the subdivision is 240 acres and it is being divided into 13 lots. Your town might not consider two of those as lots but we have to show them as lots because the Town of Blooming Grove requires us to do so. Lots number 1, 3, 4, 5, 6, 7, 8, and lot number 2 are basically 8 residential lots where the houses are proposed. Lot number two is entirely in the Town of Blooming Grove and I think I have mis-

stated when I said where Blooming Grove is I said it is in this small wedge down here. Lot number 3 is in the Town of Blooming Grove, 1,3,4,5,6,7,8 are split with houses on lots 1 through 7 being located entirely in Blooming Grove and house on lot number 8 being located in New Windsor. We have added appropriate note as we required by your engineer that the jurisdiction of construction of house and sewage disposal system for lot number 8 will be with the Town of New Windsor building inspector. Lot number 9 is basically what you call lot line change. A piece of land will be added to the existing lot as the residence owned by Riflard. This piece of land is not going to be considered residential lot it is going to be added it is additional piece of land to Mr. Riflard. Lot number ten is located on easterly side of Bull Road and the idea is to separate this lot and dedicate the road right of ways to Village of Washingtonville and Blooming Grove. There is no house proposed on number ten, the lot number 11 is 13 acres located along Moffat Road. Existing buildings on it, the house and barn the owner requested this lot be more than ten acres because he wants to keep it for agricultural. Number 12 is the remaining land again no additional residence is planned there are some barns and houses which are accessed through the driveway coming from Moffat Road. Lot number 13 I believe your town again would not consider a lot because it is naturally subdivided by Conrail but we have a piece of this lot in Blooming Grove and Town of Blooming Grove does not consider state highway, county highway town road, stream or railroad as their subdivision line. So they are including this lot here also. No construction is proposed on lot 13. Health Department came up with another idea they said number only those lots where the houses are, Town of Blooming Grove said we don't care what the Health Department says you have to number every lot. We have agreed to add a letter "A" after every number of lots which does not have residences proposed and there is a note added, note number 17 on sheet number 1. We have total of 3 sheets covering the subdivision sheet number 1 shows entire subdivision, sheet number 2 shows in detail the lots which are proposed for future residences. This would be sheet two this is in a little bit better scale for everybody to see where we are showing proposed residences, all of these are in Town of Blooming Grove. This is the Town line dividing Blooming Grove from New Windsor and house on lot number 8 is in the Town of New Windsor. The well for lot number 8 is in the Town of New Windsor, the sewage disposal is half way in Blooming Grove. There is no way you cannot do it they didn't put the Town lines along the highways. We were able to manage not to have any house split but I know municipalities where you have lot lines going through kitchens or things like that. WE have shown three disposal system designs we have submitted this plan to Orange County health Department. WE have provided two percs and two deep holes for each lot. We had joint inspection with Health Department, we are expecting approval about a week ago. Health Department at the present time is on 90 plus day return because they lost use a couple of months ago two people and they will not give us any indication when we will get approval. They say 90 plus. We have preliminary approval from Town of Blooming Grove, actually we received two extensions we continue getting another extension so this preliminary approval has expired in Blooming Grove. We asked for new approval and received new preliminary approval when we had the public hearing. Town of Blooming Grove has declared themselves lead agency under the SEQR act and declared negative impact. Village of Washingtonville has given preliminary approval and we will be going for conditional final on the first or second week of November. We will be looking for conditional final approval after we receive preliminary approval from your Board. Basically conditional subject to Health Department Approval. As I mentioned during the last meeting I have an agreement with Orange County Health Department that they will not stamp the maps until I tell them that all the three municipalities are 100 percent satisfied they did

not want any additional notes placed on the plan then I will tell them yes, you can stamp it. If they approve it it is voided and you have to go there again. So I am trying to get all municipalities ok yes we are satisfied I have it from Blooming Grove now I will have it from Washingtonville in two weeks, you are another one. When everything is ok and I get Orange County Health Department approval I will be approaching from your Village and on your municipality as the first ones because Town of Blooming Grove have stated they are going to be the last ones to stamp the plan because they have the majority of land. It is not easy to go to three different municipalities plus Health Department. The third sheet of the subdivision shows the details of the sewage disposal details of the wells, shows the result of the deep tests and perc tests, shows additional notes and shows also the required dedication of the state right of ways.

Mr. Van Leeuwen: What is the perc on lot number 8, the one in New Windsor?

Mr. Lanc: We were there with Health Department it was six minutes, we do not design for that short time we design at least 15 minutes because we don't want to take chances.

Mr. Edsall: I am having difficulty determining where the road frontage is on lot 9a.

Mr. Lanc: As you said the entire lot here is not a building lot here as stated this was required we have two lots one is not a building lot, the other is not for residential buiding purposes, one required by your engineer and one by Orange County Health Department. This lot will be added according to Blooming Grove, we have to ask tax assessor for a change of this lot line we will be asking them to add these two tax maps together as one tax map lot and the same will be done in New Windsor.

Mr. Edsall: Ths road does not continue here on the second page?

Mr. Lanc: It does.

Mr. Mc Carville: It does not show as continuing.

Mr. Lanc: It does not show as continuing. This is Bull Road yes it does. If you look at the location plan if I can show it to you.

Mr. Van Leeuwen: All we have to deal with is lot eight.

Mr. Schiefer: Eight and 13.

Mr. Lanc: And 13 we are not really changing anything.

Mr. Schiefer: Who do the people on lot 8 pay taxes to?

Mr. Lanc: Both municipalities.

Mr. Van Leeuwen: The front part to Blooming Grove and the back part to New Windsor.

Mr. Lanc: They will pay to one town for land and the other for portion of land plus residence.

Mr. Van Leeuwen: I'd like to see him open up the public hearing and get it over with.

Mr. Mc Carville: What is the reasoning for conveyance of the 9a.

Mr. Lanc: Mr. Riflard wanted to have more land he wanted to add some land to his existing lot here he doesn't want to build on it just wants to have a little bit more and he reached an agreement with Mr. Fink who is the owner of Bond Street Farm to give him that piece of land. Mr. Fink found he has nothing to lose any residential lots here so he said why not.

Mr. Rones: I am not sure and the engineer isn't sure that it is really clear from the map could it be shown existing line and proposed line so that in otherwords rather than creating a separate lot 9a that it is not a lot line change.

Mr. Lanc: This is existing line this is Riflard's property. We are showing Riflard's property and this is the piece of land as we say land to be conveyed to Riflard to be added to tax map lot number 356-1-2.3 which is Blooming Grove for residential purposes, Town of Blooming Grove when has this piece of lot does not recognize lot line changes, it doesn't exist for them, it is a lot.

Mr. Scheible: They recognize that as a separate lot?

Mr. Lanc: They wanted us to show Mr. Riflard's lot and show this lot to be joined with that tax map lot and as part of the approval we have to submit the information which is addressed to Orange County Tax Assessor with a request to join the lots together. I had something similar about a year ago and that is their procedure, there is no lot line change.

Mr. Scheible: So basically he owns 1,2,3, 4 lots.

Mr. Lanc: He will get two because when this subdivision is filed with the papers to the tax map department there will be a request to join this and that lot together right now he has one from New Windsor and one from Blooming Grove he will have one from Blooming Grove and one from New Windsor because that will be one piece.

Mr. Rones: With respect to the land that is in the Town of New Windsor that you can show as a lot line change could you not because that is our procedure here. We wouldn't want at some time in the future--

Mr. Van Leeuwen: He is going to have the trouble with Blooming Grove even though it is in ours, he's got it on their land to be conveyed to Riflard. I have no problem understanding that.

Mr. Schiefer: I have no problem the way it is.

Mr. Van Leeuwen: I would prefer to go with lot line change because it is simply there very few municipalities where they can't subdivide and they are very strict and we are going to go through word by word with attorneys who represent our clients the subdivision regulations allowing lot line changes but their legal council says no.

Mr. Edsall: Is Mr. Rones familiar with procedure Mr. Lanc is talking about as

far as filing and dissolving a line because you are creating another lot in this Town and I am not familiar with the procedure as far as dissolving a lot that is what my concern is no matter how you look at it it is substandard and you can't build on it.

Mr. Lanc: That is the reason why Blooming Grove requires it.

Mr. Edsall: Subdivision plans are not commonly used for building permits.

Mr. Lanc: If you want I can get some clarification for you from tax map department before you would grant anything. I have no problem we had that several times before I have no problem.

Mr. Van Leeuwen: You have a letter from our assessor and they are telling you to do it but Blooming Grove is telling you to do it in the Town of New Windsor.

Mr. Mc Carville: I agree with Joe it should be a lot line change I think it does make a difference.

Mr. Scheible: We are taking that situation and saying yes the majority of the whole project is not in New Windsor this is a small portion but in one lot here the majority is in the Town of New Windsor.

Mr. Ronces: Nine 'a' can be moved over to Blooming Grove side of the line and you can follow that procedure for that municipality.

Mr. Scheible: We take precedence in this situation.

Mr. Van Leeuwen: What I would like to see before we get final we have a letter from Blooming Grove and our assessor that that land has been added to that and the line is wiped out.

Mr. Ronces: If you follow the procedure you have here for the Blooming Grove part just to follow their procedures that is fine but over here if you'd show this as a lot line change because you have got two different lots you are talking about any way so if this lot were added to this tax parcel according to ours and that would satisfy our concern--

Mr. Lanc: I am going to Blooming Grove after here because I have a couple subdivisions with their Board I will ask them.

Mr. Scheible: Get their opinion. I'd like to open up the meeting to the public. Any questions from the floor.

Mr. Biscatini: I live at 55 Bull Road I'd like to see the map and see what is going on, where are they going to be building in relation to my own property? It is right on the corner of the tracks.

Mr. Lanc: There will be seven houses built at the intersection of it.

Mr. Biscatini: Just wanted to see where it was in conjunction with me.

Mr. Scheible: Any questions from the floor?

Mr. Van Leeuwen: I make a motion we close the public hearing.

AFFIDAVIT OF MAILING

STATE OF NEW YORK
COUNTY OF ORANGE
TOWN OF NEW WINDSOR

SS:

LORRAINE LENARDSON

BEING DULY SWORN,

deposes and says, I am a resident of Salisbury Mills, New York

and that on the 13th day of

October 198 7 I mailed the annexed Notice of Public Hearing to each of the parties hereinafter named by depositing in a United States Post Office or official depository at the

Washingtonville Post Office a true copy of said notice, each properly enclosed in a securely sealed, post-paid wrapper, marked

"CERTIFIED MAIL, RETURN RECEIPT REQUESTED", directed respectively

to each of the following parties at the address set opposite their names:

NAME

ADDRESS

1. Stephen J & Diana Duskin Box 268, Washingtonville, NY 10992
2. Robert and Tracie Riffard Bull Road, Washingtonville, NY 10992
3. Francis & Dorothy McAnaney Bull Road, Washingtonville, NY 10992
4. Barry Biscottini & Rosalyn Maniscolco 55 Bull Road, Washingtonville, NY 10992
5. Robert & Sylvia Mangold MD #1, Bull Road, Washingtonville, NY 10992
6. Douglas & Edith Sanderson Bull Road, Washingtonville, NY 10992
7. Orange County Planning Dept. 124 Main Street, Goshen, NY 10924
8. Estate of Charles Hookey c/o Elizabeth Atkinson, 13581 Alpine Ave., Seminole, Fla 33542
9. Jardan Parwiz & Shala 48 Gregory Dr. Goshen, NY 10924
10. Jaselb A. Khan & Shakeel Khan & Asim Khan, 16 Green Bower Lane, Spring Valley, NY 10977
11. Consolidated Rail Corp. PO Box 8499, Philadelphia, PA. 19101
12. _____
13. _____
14. _____
15. _____

Sworn before me this

Signed

Lorraine Lenardson
LORRAINE LENARDSON

13th day of October 198 7

Dolores DeSantis

Notary Public

DOLORES DeSANTIS
Notary Public, State of New York
Qualified in Orange County
Commission Expires 1989
May 31

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall 555 Union Avenue, New Windsor, New York, October 28, 1987 at 7:30 P.M. on the approval of the proposed Preliminary Plan Submission of BONDSTREET FARM LTD. located at at Moffat Road, Washingtonville, New York. Map of the Subdivision of Lands is on file and may be inspected at the Town Clerk's Office, Town Hall, 555 Union Avenue, New Windsor, N.Y. prior to the Public Hearing.

Dated: October 9, 1987

By Order Of

TOWN OF NEW WINDSOR PLANNING BOARD

Henry F. Scheible
Chairman



Louis Heimbach
County Executive

**Department of Planning
& Development**

124 Main Street
Goshen, New York 10924
(914) 294-5151

Peter Garrison, Commissioner
Richard S. DeTurk, Deputy Commissioner
Paul Costanzo, Director of Community Development

ORANGE COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT
239 L, M or N Report

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and Countywide considerations to the attention of the municipal agency having jurisdiction.

D P & D Reference No. NWT 22-87N
County I.D. No. 55 / 1 / 38
56 / 1 / 85

Applicant Bondstreet Farm

Proposed Action: Major Subdivision

State, County, Inter-Municipal Basis for 239 Review Within 500' of another municipality.

County Effects: The most significant problem presented concerns the proximity of parcels 1-8 to the railroad. The noise and vibrations produced by trains will impair the quality of living in this area, especially for those directly adjacent to the tracks. To help buffer the noise generated, we recommend that the line of preexisting trees and brush along the tracks be preserved. It would also be advantageous to combine parcels 6,7 and 8 into one building lot, thereby eliminating those homes most affected.

Related Reviews and Permits _____

County Action: XXXXXXX Local Determination Approved _____ Disapproved

Approved subject to the following modifications: _____

10/13/87
Date

Peter Garrison
Commissioner

LEGAL NOTICE
Public Hearing
 The Town of New Windsor, County of Orange, State of New York, will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York, on October 28, 1987 at 7:30 p.m. on the approval of the proposed Preliminary Plan Sub-division Road Street Farm of Roadstreet Farm Ltd. located on Moffat Road, Washingtonville, N.Y.
 Map of the proposed subdivision is on file and may be inspected at the Town Clerk's office, Town Hall, 555 Union Avenue, New Windsor, New York prior to the Public Hearing.
 Dated: October 8, 1987
 By Order of
 TOWN OF NEW WINDSOR
 PLANNING BOARD
 HENRY F. SCHENLE
 CHAIRMAN

State of New York

County of Orange, ss:

Errett W. Smith, being duly sworn
 disposes and says that he is
Publisher of the E.W. Smith
 Publishing Company, Inc. publisher
 of The Sentinel, a weekly newspaper
 published and of general circulation
 in the Town of New Windsor, and that
 the notice of which the annexed is
 a true copy was published once

in said newspaper, commencing on
 the 15th day of October A.D., 1987
 and ending on the 15th day of October
 A.D. 1987
Errett W. Smith
 Subscribed and shown to before me
 this 28th day of October, 1987

Dolores De Santis
 Notary Public of the State of New York
 County of Orange.

My commission expires May 31, 1989

DOLORES DESANTIS
 Notary Public, State of New York
 Qualified in Orange County
 Commission Expires May 31, 1989
May 31

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, O.C.H. O.C.P.
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
Lone & Tully for the building or subdivision of
Bond Street Runway has been
reviewed by me and is approved _____
disapproved _____.

If disapproved, please list reason.

No Comments.

Does not Effect N.Y.S.D.O.T.

D. Greene CEI

HIGHWAY SUPERINTENDENT

N.Y.S.D.O.T.

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

10-26-87

DATE



McGOEY and HAUSER
CONSULTING ENGINEERS P.C.

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.

MARK J. EDSALL, P.E.
Associate

Licensed in New York,
New Jersey and Pennsylvania

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: **Bondstreet Farm, Ltd. Subdivision**
PROJECT LOCATION: Off Bull Road (West Side)
NW #: 85-79
23 September 1987

1. The Applicant has submitted a Plan for the subdivision of a property of a total of 240 +/- acres, being partially in the Town of Blooming Grove, Town of New Windsor and Village of Washingtonville. A total of thirteen (13) lots are shown on the Plan, with a total of nine (9) lots having a portion being in the Town of New Windsor.

2. The Plan indicates (per note #17) that only lots 1-8 were submitted to the Orange County Department of Health and that the remainder of lots were not submitted for their review and approval. It is my opinion that a lot should not be created as part of a major subdivision unless such lot has been reviewed by the Orange County Department of Health.

3. If Lot No. 13A is to be created, I am concerned about the note which indicates that same is "not for Residential Purposes at this time". The note should be more restrictive, possibly indicating that no building permit will be issued for this lot until further submittal to the New Windsor Planning Board has been made and, if required, submittal to the Orange County Department of Health is made. (Also see next comment).

4. The Board should take note that on Lot No. 13A there appears to be limit markings of New York State Fresh Water Wetlands area designation MB-38. Therefore, additional restrictions may exist upon further review. In addition, USGS mapping indicates a cemetery in the area just west of Lot No. 13A; upon further review of this lot it should be verified that the limits of the cemetery do not involve the proposed subdivision lot.

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: Bondstreet Farm, Ltd. Subdivision
PROJECT LOCATION: Off Bull Road (West Side)
NW #: 85-79
23 September 1987

Page 2

5. The lots reviewed by the Orange County Department of Health include Lots No. 1-8. For each of the lots, with the exception of Lot No. 8, the structure and the sanitary system is to be constructed within the Town of Blooming Grove. For Lot No. 8, the residence will be constructed in the Town of New Windsor and the sanitary system partially in both Towns. It should be determined, by coordination with the Town of Blooming Grove, that the sanitary system and residence will be under the jurisdiction of the Town of New Windsor for Lot No. 8. In addition, it should be noted on the drawing that relocation of the residences or sanitary systems wholly or in part within the Town of New Windsor will not be acceptable for Lot No.'s 1-7.

6. With regard to Lot No. 8, the Plan should include the standard notes of the Town of New Windsor with regard to construction of sanitary disposal systems.

7. The Subdivision Plan should include indication that the portions of Lots 1,3,4,5,6 and 7 which are within the Town of New Windsor are being considered as part of the Lots within the Town of Blooming Grove. These portions in New Windsor should be clearly indicated as not a building lot. The size of these portions in most cases are not sufficient to comply with the minimum bulk table requirements.

8. The Board should note that Note No. 8 on Sheet 1 indicates that the boundary information for Lot No. 13A is not the result of an actual survey. The Board should consider this when determining if creation of Lot No. 13A will be acceptable.

9. The Detail Sheet, Sheet 3, indicates that a 1,000 gallon septic tank is to be provided. It is recommended that the Board require that if a four bedroom residence is constructed on Lot No. 8, a 1,200 gallon tank be required in compliance with the New York State Department of Health recommendations.

10. The Board should note that the proposed subdivision is a major subdivision based on the Town Code; therefore, a Public Hearing must be held, if one has not already been held.

11. The Planning Board should note for the record which agency has taken the Lead Agency position under the SEQRA Review Process, for this project.

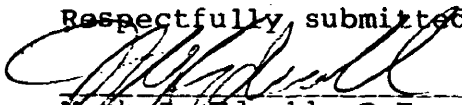
TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: Bondstreet Farm, Ltd. Subdivision
PROJECT LOCATION: Off Bull Road (West Side)
NW #: 85-79
23 September 1987

Page 3

12. With regard to Lot No. 9A, the conveyance to Rifflard should be by a Lot Line Change or, if the lot is to be created, it should be clearly identified as not a building lot.

Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer

MJEnje



COUNTY OF ORANGE

LOUIS HEIMBACH, County Executive

Department of Health

124 MAIN STREET
GOSHEN, NEW YORK 10924 TEL: 914-294-7961

Walter O. Latzko
President, Board of Health

September 22, 1987

RE: Bondstreet Farm Ltd.

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

Gentlemen:

This subdivision is currently under review by our department. Although the tract is located within three municipalities, under Public Health Law it is all considered as one realty subdivision and may ultimately require central water and sewer facilities.

Very truly yours,

M. J. Schleifer, P.E.
Assistant Commissioner

MJS:dlb

cc: File

PLANNING BOARD 9/29/87
AN EQUAL OPPORTUNITY EMPLOYER

CHAIRMAN

BUILDING INSPECTOR, P.B. ENGINEER, ~~FIRE~~ INSPECTOR, D.O.T. O.C.H. O.C.P.
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
_____ for the building or subdivision of
_____ has been
reviewed by me and is approved _____,
disapproved _____.

If disapproved, please list reason.

HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

85-79

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.
~~WATER~~, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
Cane & Tully for the building or subdivision of
Boalstreet Farm LTD has been
reviewed by me and is approved ☒
~~disapproved~~ _____.

If ~~disapproved~~, please list reason.

There is no town water in this area -

HIGHWAY SUPERINTENDENT

Steve DiDio
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

85-79

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.
WATER, ~~SEWER~~, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision X as submitted by
LANC & Tully for the building or subdivision of
Bond Street Farm LTD has been
reviewed by me and is approved ✓,
disapproved _____.

If disapproved, please list reason.

Shall require inspections and Sanitary Permits for each bldg.
" " Re-inspection by design Engineer and a letter
To the Town of their approval

HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

Lynn D. Myster Jr
SANITARY SUPERINTENDENT

Sept. 24, 1987
DATE

85-79

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T.* O.C.H. O.C.P.
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision Bow Street Farm as submitted by
Lane & Tully for the building or subdivision of
Does Not effect N.Y.S. D.O.T. has been
reviewed by me and is approved _____,
disapproved _____.

If disapproved, please list reason.

Don Greene C.E.T.
HIGHWAY SUPERINTENDENT
N.Y.S. D.O.T.

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

9/28/87
DATE

PROXY STATEMENT

for submittal to the

TOWN OF NEW WINDSOR PLANNING BOARD

MANNY FINK, deposes and says that he
resides at Moffat Road, Washingtonville, New York
(Owner's Address)

in the County of Orange
and State of New York
and that he is the owner in fee of Bondstreet Farm, Ltd.

which is the premises described in the foregoing application and
that he has authorized Lanc & Tully, P.C.
to make the foregoing application as described therein.

Date: September 22, 1987

Manny Fink
(Owner's Signature)
Manny Fink

Stephen Areman
(Witness Signature)

Stephen Areman, V.P.
Oppenheimer & Co. Inc.

LANC & TULLY

ENGINEERING AND SURVEYING, P.C.

September 3, 1987

Town of New Windsor
Planning Board
Town Hall
555 Union Avenue
New Windsor, NY 12550

Re: Bondstreet Farm, Ltd.

Gentlemen,

Enclosed are fourteen (14) sets of the Final Subdivision Plans for Bondstreet Farm, Ltd. According to your letter to the Town of Blooming Grove Planning Board, dated January 15, 1986, copy enclosed, you saw no objections to this subdivision, subject to Final Review of Plans. A SEQR long form was prepared and submitted at the time of the Preliminary submission to the Town of Blooming Grove. The Town declared themselves lead agency and passed a negative declaration at the time of preliminary approval. The Final Plans were prepared and submitted to the Orange County Health Department for their review and comments. A joint field inspection was done in early summer of 1987, and the Plans were resubmitted to the Orange County Health Department for their Final Review and Approval. As you know from your experience, and a current article in the local newspaper, the reviews are taking a very long time. We hope to receive their final approval during the month of September 1987. At the same time, we are asking the Town of Blooming Grove and the Village of Washingtonville to schedule Public Hearings on final subdivision plans. The fact that the subdivision has to obtain the Planning Board approval from three different municipal parties makes the situation quite unique. We are hoping in the cooperation of all three municipalities and the Health Department. Our proposal to all three municipal parties is to hold the Public Hearings, have whatever comments that might come up at the last minute and have all revisions done, if any are required, before any party stamps the plans "Final". We are trying to avoid a situation where three parties out of four would give final approval and stamp the plans and the fourth party would require a revision. This would automatically void the previous three approvals. In order not to void the Health Department approval, we hope to review these Final Plans with the Engineers and Planning Boards of all municipalities, so that, if there are any minor revisions to be made, the plans can be revised before they receive the Final Approval stamp from the Health Department.

We hope that all four parties will understand the difficulties and unique situation in this case, and will help us to coordinate our efforts.

Main Office	•	P.O. Box 687, Route 207, Goshen, N.Y. 10924	•	(914) 294-3700
Branch Office	•	P.O. Box 373, Route 55, LaGrangeville, N.Y. 12540	•	(914) 473-3730



Louis Heimbach
County Executive

**Department of Planning
& Development**

124 Main Street
Goshen, New York 10924
(914) 294-5151

Peter Garrison, Commissioner
Richard S. DeTurk, Deputy Commissioner

November 12, 1986

Mr. Richard Cutter, Chairman
Town of Blooming Grove Planning Board
c/o Mrs. Melanie Roberts, Clerk
29 West Main Street
Washingtonville, NY 10992

Re: Major Subdivision, Bond Street Farm
Moffat Road
Our File No. BGT 25-86N


Dear Mr. Cutter:

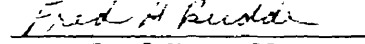
The referenced subdivision plan was reviewed in accordance with
Section 239, Paragraphs 1 and n of the General Municipal Law.

Of concern is the future subdivision of the 173 acre residual parcel.
It also appears that Parcel #13 is landlocked. How will access be provided
when it is sold for residential purposes in the future?

Although these concerns are significant, they are primarily of local,
not countywide, importance. The Orange County Department of Planning, there-
fore, recommends local determination of the matter.

Very truly yours,


Peter Garrison
Commissioner

Reviewed by: 
Fred H. Budde

cc: New Windsor Planning Board
Washingtonville Planning Board

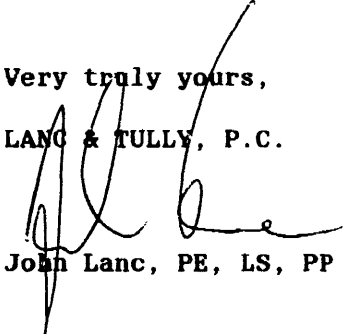
Enclosed is a copy of the Subdivision Application form, that was previously submitted to you. Please advise us of any additional forms or fees that are required at this time.

As I mentioned before, at this time we are asking your Planning Board to hold a Public Hearing on the Final Submission and we might ask you after the Public Hearing to extend the time for the final decision until we are able to coordinate the work of the other three parties involved in the approval process.

Thank you for your consideration.

Very truly yours,

LANC & TULLY, P.C.


John Lanc, PE, LS, PP

JL/LP/jc

Enclosures

cd+john
nwindor

Memo FROM:

555 UNION AVENUE

TOWN OF NEW WINDSOR

NEW WINDSOR, NEW YORK 12550

TO:

(Planning Board
Town of BloomingGrove
Main Street
Washingtonville, New York 10992)

DATE: January 15, 1986

SUBJECT: Bondstreet Farm, LTD

--FOLD HERE--

Gentlemen:

At the January 8, 1986 meeting the Planning Board reviewed the Bondstreet Farm, LTD. We saw no objections, subject to the Town of New Windsor final review of plans.

Respectfully,

Henry J. Reys
HENRY J. REYNS
Chairman

HJR/s

by _____

PLANNING BOARD
TOWN OF NEW WINDSOR
555 UNION AVENUE
NEW WINDSOR, NY 12550

(This is a two-sided form)
Date Received 12/10
Preapplication Approval _____
Preliminary Approval _____
Final Approval _____
Fees Paid 12/23/85

85-29

APPLICATION FOR SUBDIVISION APPROVAL

Date: December 5, 1985

1. Name of subdivision Bondstreet Farm, LTD
(914) 496-3588
2. Name of applicant Bondstreet Farm, LTD Phone (212) 825-3274
Address Moffat Road Washingtonville NY 10992
(Street No. & Name) (Post Office) (State) (Zip Code)
3. Owner of record Same as above Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip Code)
4. ~~Land Surveyor~~ ^{Engineer} Lanc & Tully, P.C. Phone (914) 294-3700
Address PO Box 687, Route 207, Goshen, NY 10924
(Street No. & Name) (Post Office) (State) (Zip Code)
5. Attorney Mr. David Fink, Esq. Phone (212) 309-1260
Address 411 East 53rd St., New York, N.Y. 10022
(Street No. & Name) (Post Office) (State) (Zip Code)
6. Subdivision location: On the north side of Moffat Road
(Street)
190± feet N.W. of the intersection of Moffat and Bull Roads
(direction)
7. Total Acreage 230± acres Zone R-3: New Windsor Number of Lots 11
R-30: Blooming Grove
8. Tax map designation: Section 55-1- Lot(s) 85
56-1- 38
9. Has this property, or any portion of the property, previously been subdivided No.
If yes, when _____; by whom _____
10. Has the Zoning Board of Appeals granted any varlance concerning this property No.
If yes, list case No. and Name _____

List all contiguous holdings in the same ownership.

Town of Blooming Grove:

Section 1 Block(s) 1 Lot(s) 5 & 9
2 1 1 & 4

Village of Washingtonville:

Section 101 Block(s) 1 Lot(s) 2.1, 2.2
101 2 1

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of

land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed. IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

STATE OF NEW YORK)
COUNTY OF ORANGE : SS.:

I, Manny Fink, hereby depose and say that

all the above statements and the statements contained in the papers submitted herewith are true.

M Fink -
PRESIDENT

Bond Street Farm Ltd.

Mailing Address Moffat Road

Washingtonville, N.Y. 10992

SWORN to before me this

16th
da. of *December*, 1985

J. Haruo Yamazaki
NOTARY PUBLIC

J. HARUO YAMASAKI
Notary Public State of New York
No. 4403224
Qualified in New York County
Commission Expires March 30, 1987

Corporate Ownership

Manny Fink - President 50%

Barbara Claudette Bengen Fink
Secretary - 50%

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval _____
Subdivision ✓ as submitted by
Sam & Tully for the building or subdivision of
Bond Street Farm LTD has been
reviewed by me and is approved _____,
disapproved ✓.

If disapproved, please list reason.

- 1) No information regarding sanitary disposal
System.
- 2) Percolations must be done by P.E. and
Certified upon Completion of System

HIGHWAY SUPERINTENDENT

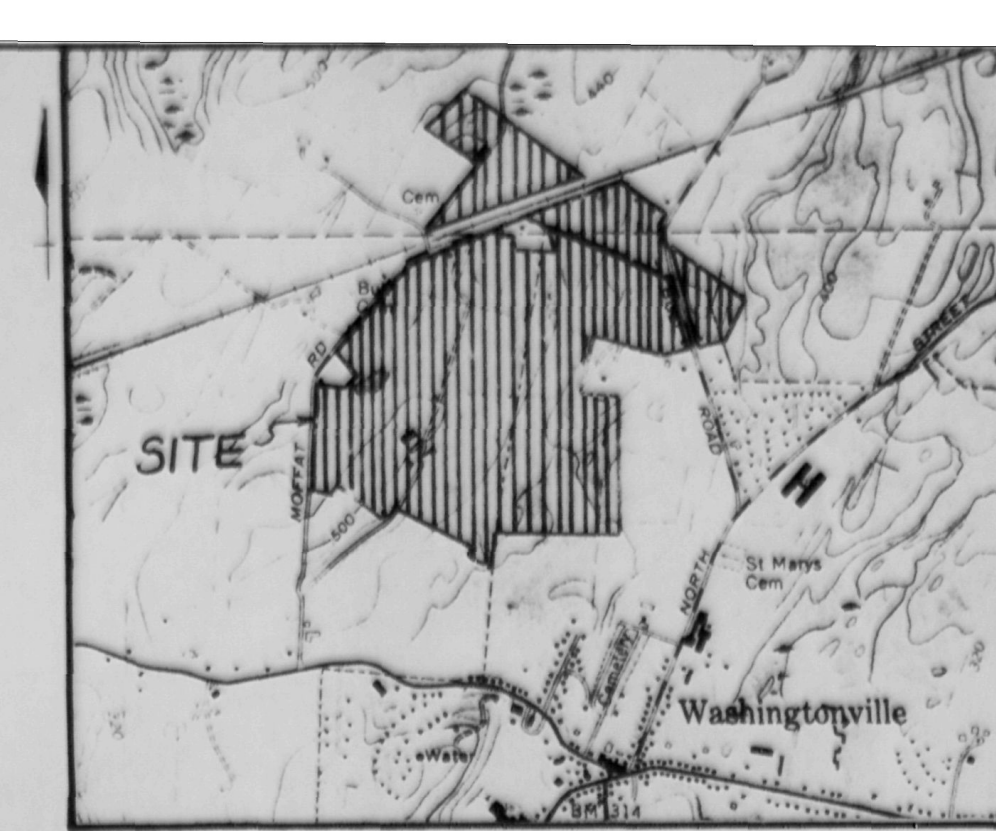
WATER SUPERINTENDENT

Liam R. Masten
SANITARY SUPERINTENDENT

January 3, 1986
DATE

LOT ACREAGE REVIEW

LOT NO	TOTAL ACREAGE	T. BLOOMING GROVE	V. WASHINGTONVILLE	T. NEW WINDSOR
1	1.53	1.45	-	0.04
2	1.26	1.26	-	-
3	1.51	1.21	-	0.30
4	1.90	1.80	-	0.10
5	1.68	1.59	-	0.09
6	1.61	1.59	-	0.02
7	1.17	1.14	-	0.03
8	0.99	0.97	-	0.02
9A	1.04	1.04	-	-
10A	3.10	2.40	0.70	-
11A	12.50	12.50	-	-
12A	173.08	173.08	85.58	-
13A	28.66	28.66	-	28.11
LOTS 1-13A	239.14	115.50	85.28	33.36
ROAD ROWS	3.80	3.08	0.72	-
TOTAL	239.94	118.58	86.00	33.36



LOCATION MAP
U.S.G.S. MAYBROOK QUADRANGLE
SCALE 1"=2000'

NOTES:

- THIS SUBDIVISION IS LOCATED IN THE TOWNS OF BLOOMING GROVE, NEW WINDSOR, & THE VILL OF WASHINGTONVILLE.
- SUBSURFACE STRUCTURES AND UTILITIES WHICH WERE NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S STAMP OR HIS EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.
- UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 1709-2 OF THE N.Y. STATE EDUCATION LAW.
- DEED OF RECORD FOR SUBJECT PARCEL FILED IN THE ORANGE COUNTY CLERK'S OFFICE IN LIBER 2351 PAGE 103.
- TAX MAP NUMBERS:
TN. OF BLOOMING GROVE: 1-1-54, 2-1-1, 2-1-4
TN. OF NEW WINDSOR: 55-1-85, 56-1-33
VILL. OF WASHINGTONVILLE: 101-1-21, 101-1-22, 101-2-1
- TOTAL AREA: 239.94 ACRES
- BOUNDARY & TOPOGRAPHY SURVEY DONE BY LANC & TULLY IN 1986 FOR LOTS 1-12A AND IN FEBRUARY 1988 FOR LOT 13A.
- ZONING:
TN. OF BLOOMING GROVE: R-30
TN. OF NEW WINDSOR: R-3
VILL. OF WASHINGTONVILLE: R-100
- TOTAL NUMBER OF LOTS: 13
- CONTOURS SHOWN, TAKEN FROM U.S.G.S. MAP D.E.C. FRESHWATER WETLANDS MAP - W-1
- FOR MORE COMPLETE SURVEY AND BOUNDARY INFORMATION FOR LOTS 1-9A, SEE SHEET 2 OF 3.
- VARIANCE WAS GRANTED BY THE ZONING BOARD OF APPEALS ON SEPTEMBER 10, 1986 IN REFERENCE TO SECTION 280 (a) OF THE TOWN LAW AND SECTION 30.48B2 OF THE ZONING ORDINANCE OF THE TOWN OF BLOOMING GROVE.
- SOME INTERIOR STONE WALLS & FENCES HAVE NOT BEEN LOCATED, THEREFORE ARE NOT SHOWN.
- PLANS ARE INCOMPLETE UNLESS THEY INCLUDE SHEETS 1 & 2 OF 3.
- ALL LOTS NUMBERED WITH PREFIX 'A' WERE NOT SUBMITTED FOR APPROVAL TO THE ORANGE COUNTY DEPT. OF HEALTH AND ARE THEREFORE NOT APPROVED BY THE ORANGE COUNTY DEPT. OF HEALTH FOR RESIDENTIAL BUILDING PURPOSES AT THIS TIME.
- ORANGE COUNTY DEPARTMENT OF HEALTH WILL REQUIRE THE INSTALLATION OF PUBLIC WATER AND SEWER TO SERVICE ALL LOTS, INCLUDING THE EXISTING ONES, IF MORE THAN 40 LOTS ARE CREATED ON THIS TRACT.

NOTES CONT.:

- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY STRUCTURE TO BE CONSTRUCTED ON LOT #13A, A VARIANCE MUST BE OBTAINED FROM THE NEW WINDSOR ZONING BOARD OF APPEALS PURSUANT TO TOWN LAW SECTION 280-A. ADDITIONALLY, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR LOT #13A ANY SEWAGE DISPOSAL SYSTEM PROPOSED FOR LOT #13A MUST BE REVIEWED AND APPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.

OFFER OF DEDICATION:

THE SUBDIVIDER HAS HEREBY OFFERED TO THE TOWN OF BLOOMING GROVE AND THE VILL OF WASHINGTONVILLE THE LANDS NOTED FOR STREETS, WIDENING OF STREETS, RIGHTS OF WAY, AND FOR EASEMENTS & OTHER LANDS DESIGNATED ON THE PLAT AS "OFFERED FOR DEDICATION TO THE TOWN OF BLOOMING GROVE" AND "OFFERED FOR DEDICATION TO THE VILL OF WASHINGTONVILLE"

CERTIFICATION:

I HEREBY CERTIFY THAT THIS MAP SHOWS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED ON FEB. 17, 1988.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(914) 294-3700

3 Freedom Road
La Grangeville, N.Y. 12540
(914) 475-3750

SUBDIVISION
FOR

BONDSTREET FARM
LTD.

TOWNS OF BLOOMING GROVE, NEW WINDSOR,
VILLAGE OF WASHINGTONVILLE
ORANGE COUNTY, N.Y.

Sheet No. 1 OF 3



APPROVAL BOX - VILLAGE OF WASHINGTONVILLE
APPROVAL BOX - TOWN OF BLOOMING GROVE
APPROVAL BOX - TOWN OF NEW WINDSOR

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH
This is to certify that the proposed arrangements for water supply and sewage disposal for this realty subdivision are in accordance with plans on file in the Office of the County Department of Health and are hereby approved. Consent is hereby given to the map in which this subdivision appears in the Office of the County Clerk in New York in the provisions of Section 1117 of the Public Health Law.
ASSISTANT COMMISSIONER
LAWRENCE JONES

NOTES:

- TOTAL AREA 239.94 ACRES
- TAX MAP NUMBERS:
T.U. OF BLOOMING GROVE: 1-1-9, 2-1-1, 2-1-4
T.U. OF NEW WINDSOR: 55-1-85 & 56-1-36
T.U. OF WASHINGTONVILLE: 101-1-21, 101-1-22, 101-2-1
- BOUNDARY AND TOPOGRAPHIC SURVEY DONE BY LANC & TULLY ENGINEERING & SURVEYING, P.C. IN 1986 & 1988
BOUNDARY FOR RIFFLARD'S LOT FROM A DEED
- ZONING:
T.U. OF BLOOMING GROVE: R-30
T.U. OF NEW WINDSOR: R-3
T.U. OF WASHINGTONVILLE: R-100
- TOTAL NUMBER OF LOTS: 13
- TOPOGRAPHY SHOWN TAKEN FROM AN ACTUAL FIELD SURVEY
- UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7009-2 OF THE NEW YORK STATE EDUCATION LAW.
- COPIES FROM THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE LAUD SURVEYOR AND/OR THE PROFESSIONAL ENGINEER SHALL NOT BE CONSIDERED VALID, TRUE COPIES.
- REFER TO SHEETS 1 & 5 FOR ADDITIONAL NOTES.
- PLANS ARE INCOMPLETE UNLESS THEY INCLUDE:
SHEETS 1, 2, 3 OF 3
- INDICATES PROPOSED MONUMENT
- INDICATES DEEP HOLE SOIL TEST LOCATION
- INDICATES PERCOLATION TEST LOCATION
- INDICATES DEEP HOLE SOIL TEST LOCATION WITH ORANGE COUNTY DEPT. OF HEALTH
- INDICATES PERCOLATION TEST LOCATION WITH ORANGE COUNTY DEPT. OF HEALTH
- LOTS OR REMAINING LANDS TO BE FURTHER SUBDIVIDED WITHOUT THE DOCUMENTED APPROVAL

TOWN OF BLOOMING GROVE TABLE OF ZONING REQUIREMENTS: R-30

MINIMUM LOT AREA	40,000 SQ. FT.
MINIMUM LOT WIDTH	150 FT.
MAXIMUM LOT COVERAGE	15 %
MINIMUM FRONT YARD	45 FT.
MINIMUM SIDE YARD	20 FT.
MINIMUM BOTH SIDE YARDS	50 FT.
MINIMUM REAR YARD	50 FT.

TOWN OF NEW WINDSOR TABLE OF ZONING REQUIREMENTS: R-3

MINIMUM LOT AREA	43,500 SQ. FT.
MINIMUM LOT WIDTH	125 FT.
MAXIMUM LOT COVERAGE	25 %
MINIMUM FRONT YARD	45 FT.
MINIMUM SIDE YARD	20 FT.
MINIMUM BOTH SIDE YARDS	40 FT.
MINIMUM REAR YARD	50 FT.

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH
1/12/85
This is to certify that the proposed arrangements for water supply and sewage disposal for this subdivision in accordance with plans on file in the office of the County Department of Health are hereby approved. Consent is hereby given to the filing of the map on which this endorsement appears in the office of the County Clerk in accordance with the provisions of Section 1117 of the Public Health Law.

ASSISTANT COMMISSIONER

APPROVAL BOX - ORANGE COUNTY HEALTH DEPARTMENT

APPROVAL BOX - TOWN OF BLOOMING GROVE

APPROVAL BOX - TOWN OF NEW WINDSOR

APPROVAL BOX - VILLAGE OF WASHINGTONVILLE

OFFER OF DEDICATION:

THE SUBDIVIDER HAS IRREVOCABLY OFFERED TO THE TOWN OF BLOOMING GROVE AND THE VILLAGE OF WASHINGTONVILLE THE LANDS NOTED FOR STREETS, WIDENING OF STREETS, RIGHTS OF WAY, AND FOR EASEMENTS & OTHER LANDS DESIGNATED ON THE PLAT AS "OFFERED FOR DEDICATION TO THE TOWN OF BLOOMING GROVE" AND "OFFERED FOR DEDICATION TO THE VILLAGE OF WASHINGTONVILLE".

- RELOCATION OF RESIDENCES OR SANITARY SYSTEMS WHOLLY OR IN PART WITHIN THE TOWN OF NEW WINDSOR WILL NOT BE ACCEPTABLE FOR LOTS #1 THROUGH #7.
- PORTIONS OF LOTS 1, 3, 4, 5, 6, & 7 WHICH ARE WITHIN THE TOWN OF NEW WINDSOR ARE BEING CONSIDERED AS PART OF THE LOTS WITHIN THE TOWN OF BLOOMING GROVE. THESE PORTIONS IN NEW WINDSOR ARE NOT BUILDING LOTS WITHOUT THE PORTIONS IN BLOOMING GROVE.
- CONSTRUCTION OF RESIDENCE AND SANITARY SYSTEM FOR LOT #8 WILL BE UNDER JURISDICTION OF THE TOWN OF NEW WINDSOR.
- ALL SANITARY SEWAGE DISPOSAL SYSTEMS HAVE BEEN DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF HEALTH STANDARDS AND THE PROVISIONS OF THE PUBLIC HEALTH LAW.
- SANITARY SEWAGE DISPOSAL SYSTEM FOR LOT #8 HAS BEEN DESIGNED BY A NEW YORK STATE LICENSED DESIGN PROFESSIONAL. THE SYSTEM SHALL BE INSPECTED DURING CONSTRUCTION AND CERTIFIED AS TO CONFORMANCE TO DESIGN BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

LANDS TO BE CONVEYED TO RIFFLARD

104 ± ACRES / 45,543 ± SQ. FT.
TO BE ADDED TO
T.M. LOT # 56-1-13 1-2-1-3-1
NOT FOR RESIDENTIAL BUILDING PURPOSES

NIF
MCANANEY
T.M. # 56-1-1-2

NIF
RIFFLARD
T.M. # 56-1-1-3
2.2 ± ACRES

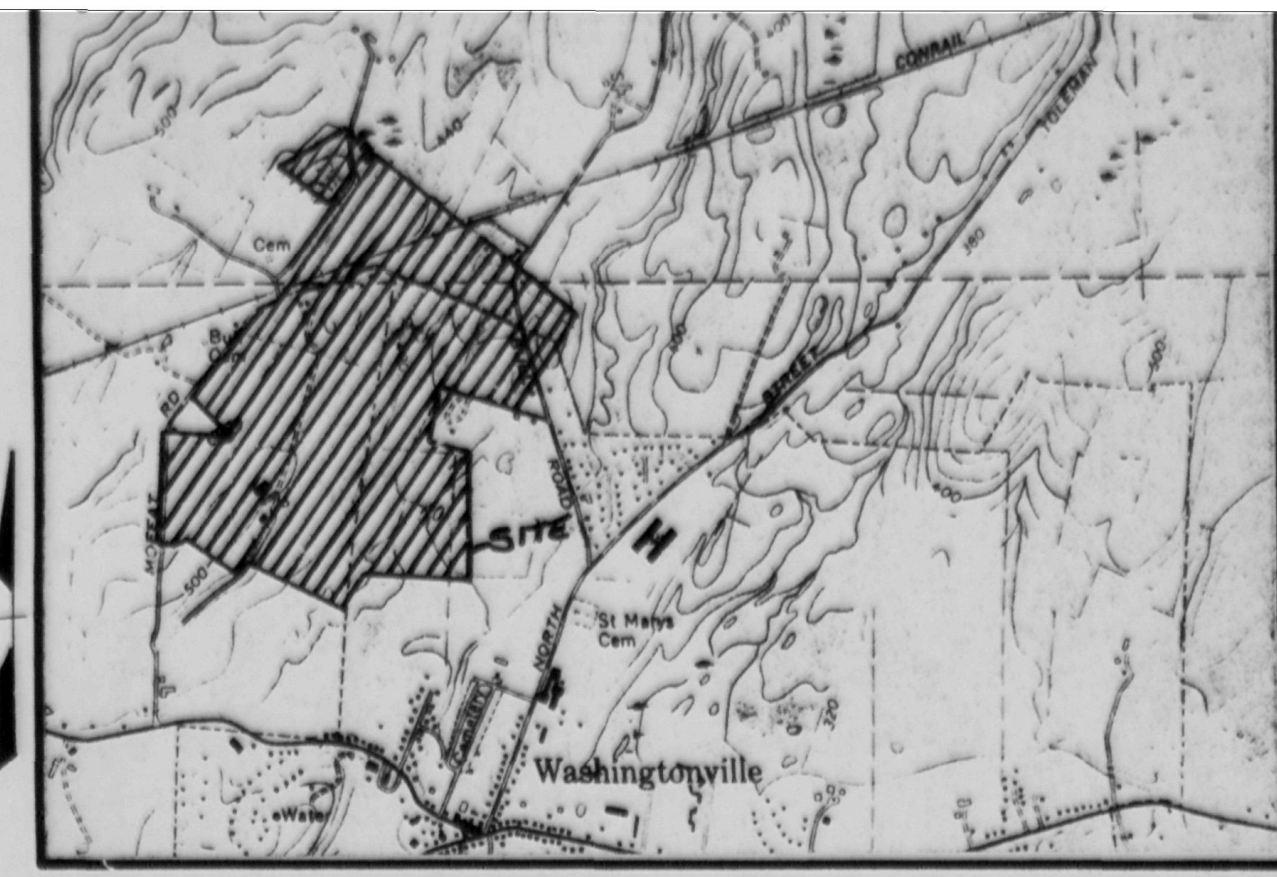
ROAD WIDENING STRIP
OFFERED FOR DEDICATION
TO THE TOWN OF
BLOOMING GROVE
AREA
80044.53 ± SQ. FT.
1.838 ± ACRES

PERCOLATION TEST DATA

LOT NO.	HOLE NO.	DEPTH	PERC. RATE	PERC. RATE (MIN.)	REQUIRED LENGTH OF TILE	DESIGN	DESIGN
1	2	24"	3	15	281	5@57'	375 7@57'
1	2A	24"	8	15	281	5@57'	375 7@57'
2	105A	24"	10	30	375	7@54'	500 10@50'
2	105B	24"	20	30	375	7@54'	500 10@50'
3	104A	24"	15	20	321	6@54'	429 8@54'
3	104B	24"	8				
4	200A	24"	5				
4	200B	24"	11	15	281	5@57'	375 8@48'
5	6A	24"	6	15	281	5@57'	375 8@48'
5	103	24"	1				
6	102A	24"	2				
6	102B	24"	6	15	281	5@57'	375 8@48'
7	101D	24"	2				
7	101E	24"	13	15	281	5@57'	375 7@54'
8	9	24"	4				
8	100	24"	13	15	281	5@57'	375 8@48'

DEEP TESTS (PERFORMED - 7/22/84)

HOLE A LOT 1	HOLE B LOT 2	HOLE C LOT 3	HOLE D LOT 4	HOLE E LOT 5	HOLE F LOT 6	HOLE G LOT 7	HOLE H LOT 8	GROUND ELEV.
TOPSOIL CLAY LOAM SANDY	TOPSOIL CLAY LOAM SANDY	TOPSOIL CLAY LOAM SANDY	TOPSOIL CLAY LOAM SANDY	TOPSOIL CLAY LOAM SANDY	TOPSOIL CLAY LOAM SANDY	TOPSOIL CLAY LOAM SANDY	TOPSOIL CLAY LOAM SANDY	1'
2'	2'	2'	2'	2'	2'	2'	2'	2'
3'	3'	3'	3'	3'	3'	3'	3'	3'
4'	4'	4'	4'	4'	4'	4'	4'	4'
5'	5'	5'	5'	5'	5'	5'	5'	5'
6'	6'	6'	6'	6'	6'	6'	6'	6'
7'	7'	7'	7'	7'	7'	7'	7'	7'



LOCATION PLAN
U.S.G.S. MAYBROOK QUADRANGLE
SCALE 1" = 2000'

CERTIFICATION:

I HEREBY CERTIFY THAT THIS DOCUMENT SHOWS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED IN JULY OF 1986 AND FEBRUARY OF 1988.

BY NEW YORK STATE LIC # 048358

RECORD OWNER

BONDSTREET FARM LTD.
MOFFAT ROAD
WASHINGTONVILLE, N.Y. 10952

SUBDIVIDER

SAME

* LOT #9A WILL BE CONVEYED TO AN ADJOINING PROPERTY OWNER RIFFLARD, WHO HAS AGREED TO ACQUIRE LOT #9A.

LANC & TULLY ENGINEERING AND SURVEYING, P.C. P.O. Box 687, Rt. 207 Garden, N.Y. 10924 (914) 294-3700		3 Freedom Road Lo Grosseville, N.Y. 12540 (914) 475-3730	
SUBDIVISION FOR BONDSTREET FARM LTD. TOWN OF BLOOMING GROVE, NEW WINDSOR VILLAGE OF WASHINGTONVILLE ORANGE COUNTY, N.Y.			
Date JANUARY 30, 1987 Received JULY 22, 1987 SEPT. 28, 1987 JAN. 14, 1988 FEB. 25, 1988	Sheet No. 2 OF 3	Drawing No. 850091	

1. PRIOR TO CONSTRUCTION, A N.Y.S. LICENSED PROFESSIONAL ENGINEER SHALL SHALL GRADE THE PROPOSED SEWAGE DISPOSAL SYSTEM.
2. CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM SHOULD BE INSPECTED BY A N.Y.S. LICENSED PROFESSIONAL ENGINEER.
3. ANY MODIFICATIONS OR DEVIATIONS FROM THIS PLAN MUST BE APPROVED BY THE ORANGE COUNTY DEPT. OF HEALTH AND DESIGN ENGINEER PRIOR TO CONSTRUCTION.
4. THE SEWAGE DISPOSAL SYSTEM SHALL BE CONSTRUCTED EXACTLY WHERE SHOWN ON PLAN.
5. BOULDERS ON SURFACE OF THE GROUND TO BE CLEARED AWAY PRIOR TO CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM.
6. ALL TREES SHALL BE REMOVED FROM TILE FIELD AREA PRIOR TO CONSTRUCTION.
7. THERE SHALL BE NO REGRADING IN THE SEPTIC FIELD AREA EXCEPT AS INDICATED ON APPROVED PLANS.
8. NO LATERALS UNDER DRIVEWAY OR PAVED AREA.
9. ALL LAUNDRY & KITCHEN WASTES SHALL BE DISCHARGED INTO S.D.S.
10. THE DESIGN ALLOWS FOR THE INCLUSION OF GARBAGE GRINDER WASTES.
11. NO CELLAR OR FOOTING DRAINS SHALL BE DISCHARGED INTO S.D.S.
12. COPIES FROM THE ORIGINAL OF DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S & LAND SURVEYOR'S STAMP OR HIS EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.
13. UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.
14. PLANS ARE INCOMPLETE UNLESS THEY INCLUDE SHEETS 1121 3 OF 3
15. SEE SHEETS 1&2 OF 3 FOR ADDITIONAL NOTES AND CERTIFICATION.
16. LEACHING FIELDS SHOWN ON INDIVIDUAL LOTS ARE FOR FOUR (4) BEDROOM HOUSES.
17. D INDICATES PROPOSED MONUMENT.
18. AFTER EACH WELL IS CONSTRUCTED A CHEMICAL SAMPLE SHALL BE TAKEN AND ANALYZED FOR HARDNESS. MAC LANE MODEL CSM100 WATER SOFTENER OR EQUAL IS RECOMMENDED FOR THE TREATMENT OF THE ABOVE. AN AIR GAP SHALL BE PROVIDED BETWEEN THE DISCHARGE OF THIS UNIT AND THE DISCHARGE PIPE TO THE DRYPIT TO PREVENT BACKFLOW.
19. RECHARGE AND BACKWASH WASTES SHALL BE EXCLUDED FROM SEWAGE DISPOSAL SYSTEMS. SUCH WASTES SHALL BE EXCLUDED IN A SEPARATE DRY PIT (WOODWARDS CONCRETE PRODUCTS, PRECAST DRYWELL MODEL DW3 OR EQUAL) WITH 4" OF GRAVEL AT THE BOTTOM AND ON THE OUTSIDE OF THE DRY PIT, AND SHALL BE COVERED BY 8" THICK CONCRETE SLAB OR EQUAL AND 4" OF SOIL. THE PIPE BETWEEN THE HOUSE AND SEEPAGE PIT SHALL BE 4" PVC, WITH A MINIMUM SLOPE OF 1/8" PER 1'.

THE GAS SHALL BE PROVIDED BETWEEN THE UNIT AND THE DISCHARGE PIPE TO THE T BACKFLOW

CKWASH WASTES SHALL BE EXCLUDED FROM SEWAGE S. SUCH WASTES SHALL BE DISCHARGED IN A SEPARATE S CONCRETE PRODUCTS, PRECAST DRYWELL MODEL DW3 OF GRAVEL AT THE BOTTOM AND ON THE OUTSIDE OF SHALL BE COVERED BY 8" THICK CONCRETE SLAB OF 504" THE PIPE BETWEEN THE HOUSE SHALL BE 4" PVC, WITH A MINIMUM SLOPE OF

302.02' N 08° 08' 25" E 330.68' N 84° 50' 00" E 331.51' S 03° 42' 00" E 302.02' S 03° 42' 00" E 304.35' S 03° 42' 00" E 304.35' S 03° 42' 00" E 304.35' S 03° 42' 00" E 304.35'

2" WIDE PERPENDICULAR

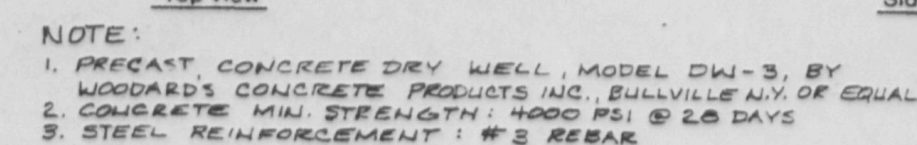
AREA:
31.72+41.30 FT
0.78± ACRE

ROW OFFERED FOR DEDICATION TO THE VILLAGE OF WASHINGTONVILLE

ROW DETAIL #1

SCALE: 1"=100'

THE SUBDIVIDER HAS IRREVOCABLY OFFERED TO THE TOWN OF BLOOMING GROVE AND THE VILL. OF WASHINGTONVILLE THE LANDS NOTED FOR STREETS, WIDENING OF STREETS, RIGHTS OF WAY, AND FOR EASEMENTS & OTHER LANDS DESIGNATED ON THE PLAT AS "OFFERED FOR DEDICATION TO THE TOWN OF BLOOMING GROVE" AND "OFFERED FOR DEDICATION TO THE VILL. OF WASHINGTONVILLE."



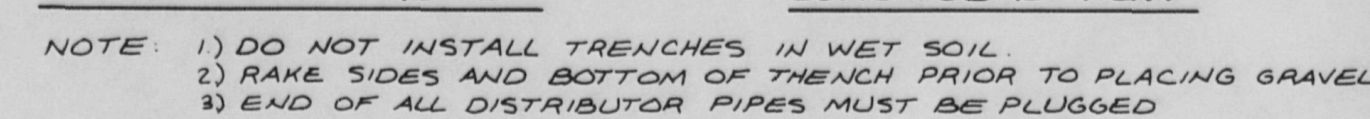
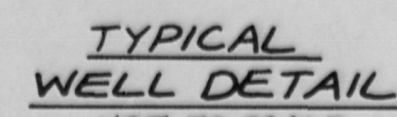
DETAIL
BACKWASH DISCHARGE
FOR
WATER SOFTNER
NOT TO SCALE

(a) Water service and sewer lines may be in the same trench if cast iron sewer with lead-caulked joints is laid at all points 12 inches below water service pipe; or sewer may be on dropped shelf at one side at least 12 inches below water service pipe, provided that sewer pipe is laid below frost with tight and root-proof joints and is not subject to settling, superimposed loads or vibration. Water service lines under pressure shall not pass closer than 10 feet of a septic tank absorbing the effluent, leaching oil, or any other cast of a sewage disposal system.

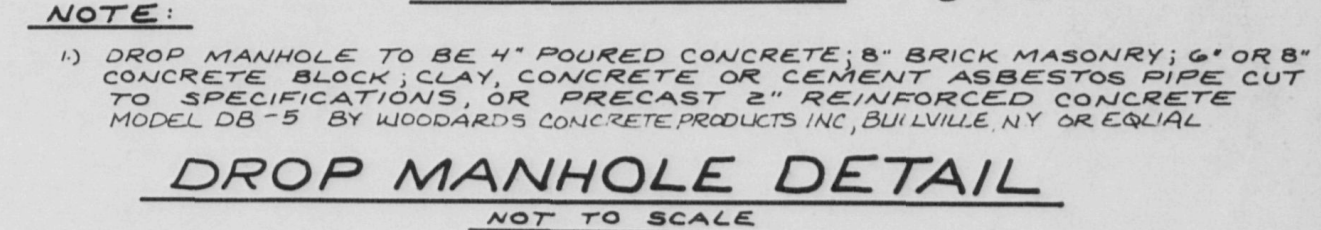
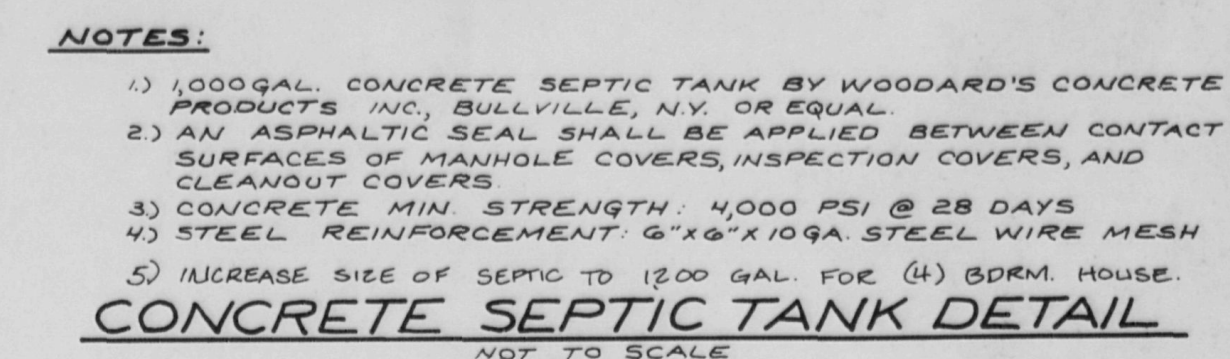
(b) Sewage disposal systems located at necessity upgrade in the general path of drainage to a well should be spaced 200 feet or more away.

(c) mean high water mark

WATER SOUTHERN CALIFORNIA DRY WELL - SEWAGE PIT



PERCOLATION AND DEEP SOIL TESTS
PERFORMED ON JUNE 26, 1987 WITH THE ORANGE COUNTY
DEPT. OF HEALTH

[illegible]

LOT #	TEST HOLE #	PERCOLATION RATE
1	301	12 MIN.
2	302	4 MIN.
3	303	6 MIN.
4	304	15 MIN.
6	306	6 MIN.
7	307	9 MIN.
8	308	6 MIN.